

Report to Planning Committee

11 May 2021

Application Reference	DC/20/64894
Application Received	29 October 2020
Application Description	Demolition of existing building and proposed
	mixed-use development comprising of 12 No. houses and 109 No. apartments for key
	workers, creche and convenience store,
	boundary treatment with associated on-site and
	off-site parking.
Application Address	Physiotherapy
	Sandwell District General Hospital
	Lyndon
	West Bromwich
	B71 4HJ
Applicant	Mrs Adenike Titiloye
Ward	West Bromwich Central
Contact Officer	Alison Bishop
	alison_bishop@sandwell.gov.uk

1 Recommendations

- 1.1 That, subject to no adverse comments from Highways or the LLFA, planning permission is granted subject to conditions relating to the following:
 - (i) Travel plan recommendations;



















- (ii) Low Nox boilers or other means of reducing air quality emissions within the development;
- (iii) Demolition and construction management plan Monday to Friday 08.00 to 18.00 hours, Saturday 08.00 to 13.00 hours and no working on Sundays or bank holidays;
- (iv) Dust management plan;
- (v) Details of the electric vehicle charging and implementation;
- (vi) Site investigation and remediation strategy;
- (vii) Noise assessment to protect residents from traffic noise and plant associated with the development;
- (viii) Sustainable drainage scheme;
- (ix) Details for disposal of foul and surface water;
- (x) External material;
- (xi) Landscaping details;
- (xii) Boundary treatments;
- (xiii) Parking provision laid out and retained to include parking to the opposite side of Hallam Street;
- (xiv) Following 12 months of occupation of the development a parking review shall take place and any further mitigation measures shall be provided (if required);
- (xv) The scheme shall deliver 100% affordable housing provision for key worker accommodation;
- (xvi) A full historic buildings recording shall be undertaken prior to demolition works taking place;
- (xvii) The retail shop shall be for a convenience store only and shall not benefit from permitted changes;
- (xviii) Refuse strategy;
- (xix) Recommendations of the preliminary ecological survey to include bird and bat boxes; and
- (xx) Employment and skills plan.

2 Reasons for Recommendations

2.1 The proposed scheme accords with the housing allocation within the Development Plan and would provide 100% affordable homes for key













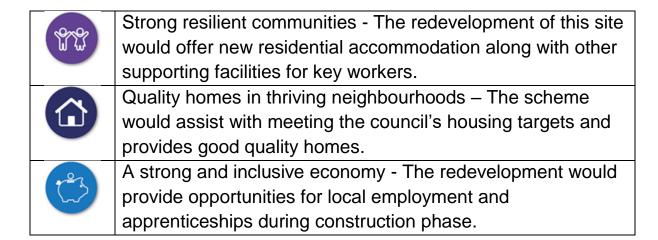






workers, which meets an identified need. The scheme is also compliant in terms of design, air quality, drainage, renewables policies and creating sustainable development. Whilst the development would result in the loss of an undesignated heritage asset. It is considered that the benefits of this scheme, outweigh its loss and that full historic building recording would ensure that a record of these buildings is retained following their demolition.

3 How does this deliver objectives of the Corporate Plan?



4 Context

- 4.1 This application is being reported to your Planning Committee because six material planning objections have been received.
- 4.2 To assist members with site context, a link to Google Maps is provided below:

Physiotherapy, Sandwell District General Hospital, Lyndon

5 Key Considerations

- 5.1 The site is allocated for housing within the Development Plan.
- 5.2 The material planning considerations which are relevant to this application are:



















Government policy (NPPF)
Proposals in the Development Plan
Layout and density of building
Design, appearance and materials
Overlooking/loss of privacy
Access, highway safety, parking and servicing
Traffic generation
Heritage and conservation
Planning gain (obligations, affordable housing etc)

6. The Application Site

- 6.1 The site forms part of the Sandwell General Hospital campus, situated at the junction with Lyndon, Lewisham Street and Hallam Street, West Bromwich.
- 6.2 The site is currently occupied by the Victorian Institutional Hospital building which provides physiotherapy, diabetes units, child health office, and rehabilitation centre. These facilities are due to be relocated to either the Lyndon Campus or the new MMUH, Smethwick (due to open summer 2022).

7. Planning History

7.1 There are several planning applications associated with the hospital site, many relate to minor changes to improve the provision of hospital services. The most pertinent recent permissions relate to two developments within the current hospital campus for a new medical facility (DC/18/62402) and a multi storey car park (DC/19/63753). Also, the granting of the new Midland Metropolitan University Hospital (MMUH) on Grove Lane Smethwick (DC/15/58384) which is due to open in summer 2022 and will result in a number of services, including accident and emergency, transferring from the current hospital site.



















7.2 List relevant of relevant applications are detailed below:

DC/19/63753	Proposed demolition of hospital accommodation block, erection of a multistorey car park, reconfiguration of surface parking spaces and associated access alterations, drainage, landscaping, infrastructure and associated works.	Grant permission with conditions 09.04.2020
	Sandwell General Hospital	
	Lyndon	
DC/18/62402	West Bromwich Demolition of 2 No.	Crant parmission with
DC/16/62402	hospital buildings (Lower	Grant permission with conditions
	Lyndon Car Park) and	11.02.2019
	proposed erection of	1110212010
	medical care centre	
	including pharmacy upon	
	part of existing car park	
	including modified access,	
	new car parking, cycle	
	parking and landscaping.	
	Sandwell General Hospital	
	Lyndon	
D0/45/50004	West Bromwich	
DC/15/58384	Hybrid planning	Grant permission with conditions
	application for (a) the development of the	25.09.2015
	Midland Metropolitan	23.09.2013
	Hospital to comprise the	
	erection of the hospital	
	building (including car	
	parking, ancillary retail	



















uses, plant, radio antenna masts, receiver dishes, and chimneys), new and revised vehicular and pedestrian access, internal access roads and car parking, vehicular drop off/arrival areas, pedestrian and cycle routes, soft and hard landscaping, public art, CCTV, lighting, boundary treatments, underground services and sub-station, re-profiling and engineering works, SUDS, balancing pond, creation of new tow path and partial infilling of the Cape Arm Canal; and (b) outline application with all matters reserved, for three development zones consisting of uses covering Class D1 (nonresidential institutions), Class D2 (assembly and leisure), C2 (residential institutions), Class B1(a) offices (b) research and development, car parking, access, pedestrian routes and landscaping (interim and permanent options). Grove Lane, Smethwick



















DC/01/37627	Extension to existing car	Grant permission with
	park to provide additional	conditions
	65 parking spaces.	30.04.2001
	Sandwell General Hospital	
	Hallam Street	
	West Bromwich	
DC/99/35084	Proposed new car park.	Grant permission with
	Sandwell General Hospital	conditions
	Hallam Close	16.03.1999
	West Bromwich	

8. Application Details

- 8.1 The proposal is for a mixed use affordable residential development for key workers comprising of 12 no. houses (six, two bed and six, three bed houses) and 109 apartments (50, one bed, 14, two bed, and 45, two bed) and includes ancillary support accommodation. Keyworkers are defined as hospital staff both on campus and nearby but will also extend to other keyworkers, the police and teachers. The scheme would be supported with grant funding from Homes England.
- 8.2 The apartment block would be an 'L' shape, facing towards the existing sleeve of the hospital buildings and the houses would face towards Hallam Street. The ground floor would incorporate a convenience store of 160sqm, a creche and community room. The scheme retains the existing Lewisham Street/Hallam Street frontages with their original boundary walls and railings and many of the existing established trees set out as communal garden areas for residents.





















8.3 The proposed apartment block would be a maximum of seven storeys (equating to circa 23 metres height) and comprises red brick cladding facades and a contrasting colour to the ground floor, with accents of orange to the balcony features. Solar panels would be incorporated on the roof.





















8.4 The proposed houses would be a traditional design with red brick, grey windows and grey tile pitched roofs being either two or three storey height, each with their own small garden area.



- 8.5 The scheme provides on-site parking served from the existing vehicular access from Hallam Street and comprises of 108 parking spaces. This equates to 50% parking provision for the flats and two spaces for each house with around 24 spaces reserved for visitors. A further four parking spaces are provided for the convenience store. An additional 46 off-site parking spaces would be provided on the car park to the opposite side of Hallam Close. Within the communal parking areas, four spaces for disabled users are proposed and eleven spaces would be equipped with electric vehicle charging points (EVCPs). In addition, each house would have an EVCP.
- 8.6 Sustainable transport would be supported by the provision of two bike stores for each house and 56 bike stores serving the apartments.

 Pedestrian linkages would also be provided to the site and within the wider hospital block.
- 8.7 The submission also includes a Planning and Design and Access Statement, Flood Risk and Drainage Strategy, Transport Assessment, Travel Plan, Air Quality Assessment, Historic Building Assessment,



















Preliminary Ecological Appraisal and Phase 1 Ground Investigation Report.

9. Publicity

9.1 The application has been publicised by press and site notice and 85 neighbour letters.

9.2 **Objections**

Six objections have been received on the following grounds:

- (i) Concerns that the flats would allow residents to look directly into houses and bring a loss of privacy to current inhabitants of the area:
- (ii) Concerns about the overall scale of the proposed apartment block;
- (iii) Do not need another convenience store;
- (iv) Parking spaces would be cramped;
- (v) There would be more litter on the roads;
- (vi) Whilst supporting of the use of the site for housing there are concerns about the loss of hospital services in West Bromwich and wishing to retain the A&E service; and
- (vii) Loss of the historic building of good architectural merit and instead this should be restored and re-used for housing.

9.3 Responses to objections

I respond to the objectors' comments in turn:

(i) The apartment block has been designed so that the stairwells and lift shaft is situated on the corner that faces towards the residential properties and so there would be no direct overlooking from the apartments. In addition, at the human scale the scheme retains the existing trees fronting Lewisham Street and, hence, with the separation of the communal gardens including trees and the



















design of the apartments, residents would not be unduly overlooked.

- (ii) The scale of the apartment block is 23 metres in height. However, it is considered that, given the orientation of the building which would sit in context to the main hospital complex, its scale would not be unduly prominent. Furthermore, the careful use of materials and landscaping would also ensure that the building blends within its existing environment of the hospital and the surrounding area.
- (iii) The convenience store is incorporated within the ground floor of the building and offers a facility for residents both within the building and the surrounding area. Given the scale of this development such a facility is welcomed, and as the store is modest in scale, this is deemed acceptable in retail policy terms (refer to 10.1 below).
- (iv) The parking layout within the site conforms to the council's parking standards in terms of the bay sizes; it is however acknowledged that parking within the scheme would not provide parking for each flat. To some extent, the provision to the opposite side of Hallam Street addresses this shortfall. Further discussion regarding parking provision is referred to in 10.2 below.
- (v) I appreciate the concerns regarding litter, however the communal areas would be managed, and a detailed refuse strategy has been provided which can be conditioned.
- (vi) The loss of some facilities was established as part the grant of planning permission for the new MMUH, which was a strategic decision based on the NHS Trust's vision for the delivery of their services. This cannot be re-visited. In terms of the facilities lost as part of this development, some of these will be transferred to the Lyndon campus.





















(vii) As part of this application submission, it is recognised that the buildings to be demolished are of historic and architectural merit which is recognised in historic journals. A desktop appraisal has been carried which sets out the history of the building and its important architectural characteristics. The building is not, however within a conservation area or afforded any national or local listing. Further discussion can be found in paragraph 11.3.

10. Consultee responses

10.1 Planning and Transportation Policy

The proposal falls under WBPr39 of the West Bromwich AAP, which is a residential allocation and the principle of a residential led scheme is acceptable. Given the scale of the proposal, affordable housing policy is relevant (HOU3 and SAD H3), whereby 25% of the provision should be affordable homes. In this instance the scheme provides 100% affordable provision which is welcomed.

With regards to the retail unit, although in proximity to West Bromwich Strategic Centre, it would offer a useful facility within the adjacent working environment, which could reduce the need to travel by car for the workforce that surrounds it. The A1 unit falls below the 200sqm threshold, as identified in CEN6, however, it is recommended that the store should be conditioned to be for a convenience store only.

Likewise, with the creche, this would be classed as a community facility and, as identified in SAD DM6, should be located on the fringes of commercial areas, such as this. Such a facility could be a highly beneficial use for the adjacent workforce and surrounding population and due to its highly sustainable location.

The site is adjoined to a public footpath and bus stop on Hallam Street, therefore a direct public footpath link should be provided. A revised plan has now been received that provides a direct public footpath between the houses.



















Other relevant polices refer to good design, air quality, sustainable transport, drainage and renewables and are referred to in section 12 below.

10.2 Highways

Highways have raised concerns about whether the scheme as proposed in conjunction with other developments such as the medical centre, multi-storey and new MMUH, would ensure that adequate provision is provided to meet both resident parking and the wider hospital services. An addendum/technical note has been requested to the original Transport Assessment to clarify the NHS Trust's future requirements for parking following the construction of the new medical facility and the completion and operation of the new MMUH in Smethwick.

An update will be provided to your meeting.

10.3 Public Health (Air Quality)

The scheme is compliant with electric vehicle charging requirements and should be conditioned accordingly.

They consider that appropriate models for the assessment of dust from the demolition, construction and operational phases have been used in the Air Quality Assessment for this development and should also be conditioned accordingly to include hours of works as Monday to Friday 08.00 to 18.00 hours; Saturday 08.00 to 13.00 hours; no working on Sundays or bank holidays.

Finally, that the recommendations within the Travel Plan should be conditioned along with the inclusion of low NOx boilers as part of the development. Regarding the latter, the scheme proposes to provide a combined heat and power system to the ground floor of the apartment block or utilising the system serving the hospital, therefore



















this would be conditioned to reflect the applicant's proposal in order to achieve the best solution.

10.4 Public Health (Contaminated Land)

No objections subject to a detailed site investigation and remediation strategy being conditioned.

10.5 **Public Heath (Air Pollution and Noise)**

Noise mitigation measures meet a good standard of internal noise outlined in BS8233:2014 in respect of habitable room facades of residential units. For traditional external areas that are used for amenity space, such as gardens and patios, it is desirable that the external noise level does not exceed 50 dB *L*Aeq, *T*, with an upper guideline value of 55 dB *L*Aeq, *T* which would be acceptable in noisier environments.

In addition, residential units would also need to be protected from plant room noise and plant/equipment used by the convenience store. These measures can be conditioned accordingly.

The proposed residential flats should conform to Approved Document E under the Building Regulations 2000 in terms of sound insulation. The applicant therefore needs to ensure that all floors, walls and other such structural elements are subject to appropriate sound insulation works to ensure necessary levels of sound insulation (against structure borne and airborne noise) are achieved. As such, this matter would be dealt with under the building regulations stage of development.

10.6 Lead Local Flood Authority

The scheme as reviewed required additional information in relation to exceedance flows. This information was submitted and the LLFA reconsulted. At the time of writing this report, a response is awaiting. It is however anticipated that these matters can be conditioned as the site is not situated within a high-risk flood area.



















10.7 Urban design comments

The visual vernacular presented from the images presents a modern, clean but functional layout which supports the hospital's branding. The officer wholeheartedly supports the retention of the many mature trees on site with boundary treatments, as this acts to enhance the setting of the development proposals.

Whilst concerns were raised regarding some of the apartment sizes, it has been acknowledged that each apartment is only marginally below the council's standards and each apartment provides good natural light with external balconies.

10.8 Severn Trent

No objection subject to standard drainage conditions for disposal of surface water and foul.

10.9 Conservation officer

Although these buildings are not currently listed, they clearly have heritage significance and has been acknowledge as such in the renowned Pevsner Guide. An architectural desk-based assessment was therefore carried out as part of the submission.

Paragraph 197 of the NPPF gives guidance to LPAs assessing impact on such applications: 'The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.'



















In this instance, the proposals would result in the total loss of the heritage assets. Although I concur with the assessment of the proposal's impact on the setting of nearby non-designated heritage assets, in my opinion the proposed total loss of Henman's Buildings or the Chapel would be contrary to paragraph 197 and to ENV2 of the BCCS which requires that development should aim to protect and promote the special qualities, historic character and local distinctiveness of the Black Country in order to help maintain its cultural identity and strong sense of place.

In considering the assessment's comments regarding mitigation, para 199 of the NPPF has this to say: 'Local planning authorities should require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible. However, the ability to record evidence of our past should not be a factor in deciding whether such loss should be permitted.'

10.10 Victorian Society

The loss of these buildings should be resisted due to their historic significance.

10.11 Ancient Monuments Society

Also refer to the historic significance of the buildings.

11. National Planning Policy

- 11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.
- 11.2 Paragraph 109 of the NPPF refers development being prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road



















network would be severe. I am mindful that my highway colleagues have raised concerns about the shortfall in parking, however, following further discussions with the applicant, I consider that when considering the wider strategy for the hospital site, that suitable parking provision will be provided which can be demonstrated within their revised technical note.

11.3 Paragraph 197 and 199 of the NPPF addresses attaching significant weight to undesignated heritage assets and considering whether the benefits of their loss outweigh the redevelopment of an area. It alludes to the importance of ensuring that full consideration should be given to this in advance of its loss. An architectural desk-based assessment has been submitted which highlights these buildings' historical significance, however, I am mindful that the buildings' significance has in part been eroded due to the adaptations that have occurred over time. So, in attaching weight to both this, the designation for the site for housing within adopted policies and the benefits of providing affordable housing, that these benefits outweigh the loss of the buildings. Nevertheless, I consider that, prior to their demolition, a full historic recording such take place to ensure that a full record is retained as part of the council's historic environment record.

12. Local Planning Policy

12.1 The following polices of the council's Development Plan are relevant:

HOU1: Delivery Sustainable Housing Growth

HOU3: Affordable Housing ENV1: Nature Conservation

ENV2: Historic Character and Local Distinctiveness

ENV3: Design Quality

ENV5: Flood Risk, Sustainable Drainage System and Urban Heat Island

Effect

ENV7: Renewable Energy

ENV8: Air Quality

TRAN2: Managing Transport Impacts of New Development



















TRAN4: Creating Coherent networks for cycling and walking

CEN6: Meeting Local Needs for Shopping and Services

DEL1: Infrastructure provision

EMP5: Improving Access to the Labour Market

SAD H1: Housing Allocations SAD H3: Affordable Housing

SAD EMP2: Training and Recruitment SAD EOS9: Urban Design Principles

SAD DM6: Community Facilities

- 12.2 The land is identified and allocated in the Development Plan to meet the borough's sustainable housing growth, under policy HOU1, as such this residential led scheme is policy compliant and would assist in delivering much needed homes in Sandwell.
- 12.3 HOU3 and SAD H3 refer to the provision of 25% affordable housing within residential schemes of more than 10 units. In this instance the scheme provides 100% affordable provision for key worker accommodation and is benefiting from grant funding from Homes England. Whilst in normal circumstances in order to secure affordable provision a s106 agreement would be required, I am satisfied that due to the nature of the proposal, its specified end use, and that the terms of the grant funding by Homes England would require the development to be for affordable rent, that a condition in this instance would ensure that the provision was delivered.
- 12.4 Recommendations of the preliminary ecological survey to include bird and bat boxes would meet the requirements of ENV1. This can be ensured by conditioned.
- 12.5 ENV2 refers to enhancing local character and distinctiveness and those aspects of the historic environment where they are recognised to be of historic or architectural quality. As indicated above, the buildings are of historic importance, albeit not statutory or locally listed. In this instance, I consider it proportionate that we should recognise these buildings' historic importance through their recording prior to demolition.



















- 12.6 Turning to the design of the proposal, it is considered that the proposed orientation and layout of the building maximises the best use of the site and compliments the surrounding hospital buildings whilst retaining robust boundaries and soft planting to soften its impact on the nearby residential properties on Lewisham Street. The material choices for the building are appropriate in appearance, complimenting the surrounding area. Therefore, it is considered that the scheme accords with the provisions of ENV3 and SAD EOS 9.
- 12.7 Subject to further comments from the LLFA, the development would provide appropriate drainage and landscaping and can be conditioned accordingly (ENV5).
- 12.8 Renewable energy policy (ENV7) will be complied with through the use of solar panels to the roof of the apartment building and the fabric of the building exceeding current building regulations in terms of thermal efficiency.
- 12.9 Air quality considerations (ENV8) have been addressed through the submitted Air Quality Assessment and imposition of conditions relating to electric vehicle charging points, cycle provision, the Travel Plan recommendations and a dust management and construction plan.
- 12.10 Subject to the assessment of a revised technical note it is considered that the proposed development would not cause any severe highway impacts (TRAN2).
- 12.11 Following receipt of the revised layout the scheme now incorporates improved footpath links to established public rights of way to more easily access public transport. In addition, the scheme provides provision for secure cycle storage to both the houses and flats (TRAN4).
- 12.12 With regards to the retail unit, as noted above, it would offer a convenient local facility. The retail unit falls below the 200sqm threshold, as identified



















in CEN6, however it is recommended that the store should be conditioned to be convenience retail only.

- 12.13 DEL1 refers to all developments supporting necessary on and off-site infrastructure to serve the development and to ensure that the The scheme as proposed provides a development is sustainable. sustainable development and appropriate infrastructure.
- 12.14 The proposal provides an opportunity for local job opportunities during construction (EMP5 and SAD EMP2). This can be conditioned.
- 12.15 Policy DM6 refers to sites being located on main road frontages, and consideration being given to parking, public transport, noise and hours of use. The creche within the site is situated on a prominent frontage, with good access to public transport.

13. **Material Considerations**

13.1 National and local planning policy considerations have been referred to above in sections 11 and 12. With regards to the other material considerations, these are highlighted below:

13.2 Layout and density of building

The scheme as designed has endeavoured to maximise density by virtue of the seven storey building height, however, due to the layout proposed, the sleeve of the apartment block would assimilate into the context of the existing hospital complex.

13.3 Design, appearance and materials

The use of materials that are a similar nature to the surrounding area would ensure that the appearance of the building complements the surrounding area whilst introducing some modern accents, such as balcony features to the apartment block and grey windows to the houses, which would enhance its overall appearance.





















13.4 Overlooking/loss of privacy

The careful orientation of the apartment block and the location of the stairwells to the elevations facing the road frontages would ensure that there is no direct overlooking from the apartment block. Furthermore, the retention of trees to the frontages of Lewisham Street would also create a sense of enclosure and privacy.

13.5 Access, highway safety, parking, servicing and traffic generation

The proposal utilises an existing access to serve the development, accords with parking sizes and provides a detailed strategy for refuse collection. The shortfall of parking is partly met through the use of the land to the opposite side of Hallam Street, however, a revised technical note is expected to ensure that a holistic approach to parking provision has been fully considered by the NHS Trust.

13.6 Heritage and conservation

The site forms part of the original hospital buildings and as such they are considered to be of historic significance. The site is also allocated for residential development and therefore considerable weight must be attached to the benefits of bringing forward the site for such purposes. I am also mindful that in this instance the accommodation would serve key workers providing 100% affordable homes. Therefore, in this instance I consider that the loss of these undesignated heritage assets should outweigh the benefits brought about by new, affordable homes of high quality design.

13.7 Planning gain (obligations, affordable housing etc)

As indicated in 13.6 above, the site provides 100% affordable provision for key workers and hence this would benefit many workers who work within hospitals, schools or the police service and are unable to purchase their own homes.



















14 **Alternative Options**

14.1 Refusal of the application is an option if there are material planning reasons for doing so. There are two key considerations, firstly whether sufficient parking is provided. In my opinion, I do not consider, with the additional parking provided to the opposite side of Hallam Street and the NHS Trust's own strategies for managing parking within their control, that the parking provision would have a severe impact. Nevertheless, on submission of the revised technical note, an update will be provided. Secondly, should the retention of the historic buildings be considered by members, again I am mindful of the allocation for housing and that to retain the buildings would limit the opportunities for redevelopment of the site. However, members may attach greater weight to the loss of the buildings should they see fit.

15 **Implications**

Resources:	When a planning application is refused the applicant
	has a right of appeal to the Planning Inspectorate, and
	they can make a claim for costs against the council.
Legal and	This application is submitted under the Town and
Governance:	Country Planning Act 1990.
Risk:	None.
Equality:	There are no equality issues arising from this proposal
	and therefore an equality impact assessment has not
	been carried out.
Health and	Refer to the summary of the report (2.1).
Wellbeing:	
Social Value	Refer to the summary of the report (2.1) and
	conditions relating to jobs and apprenticeships.

16. **Appendices**

Site Plan 1906-101-P2





















- 1906-116
- 1906-102-P21
- 1906-104-P13
- 1906-120 P4
- 1906-122 P4
- 1906-123 P4
- 1906-124 P10
- 1906-125 P8
- 1906-126 P7
- 1906-128 P7
- 1906-129 P8
- 1906-129 P8
- 1906-130 P8
- 1906-132 P8
- 1906-133 P9
- 1906-135 P7
- 1906-136 P6
- 1906-141 P7
- 1906-145 P1
- 1906-146 P3
- 1906-147 P3
- 1906-148 P3
- 1906-149 P1
- 1906-150 P1
- 1906-210 P1
- 1906-211 P1
- 1906-230-P1
- 1906-231-P1
- 1906-240-P1
- 1906-241-P1













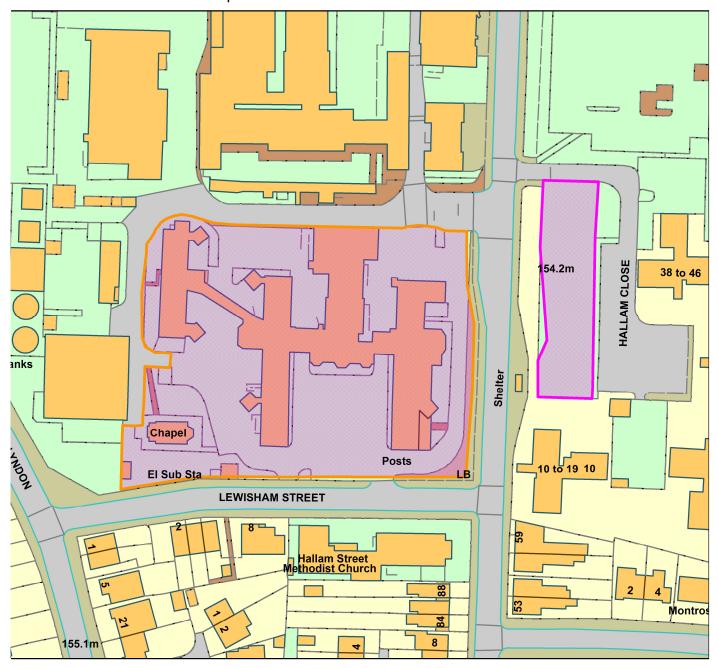


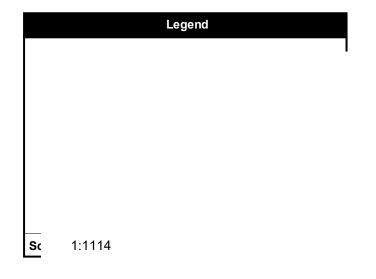






DC/20/64894 Sandwell District General Hospital

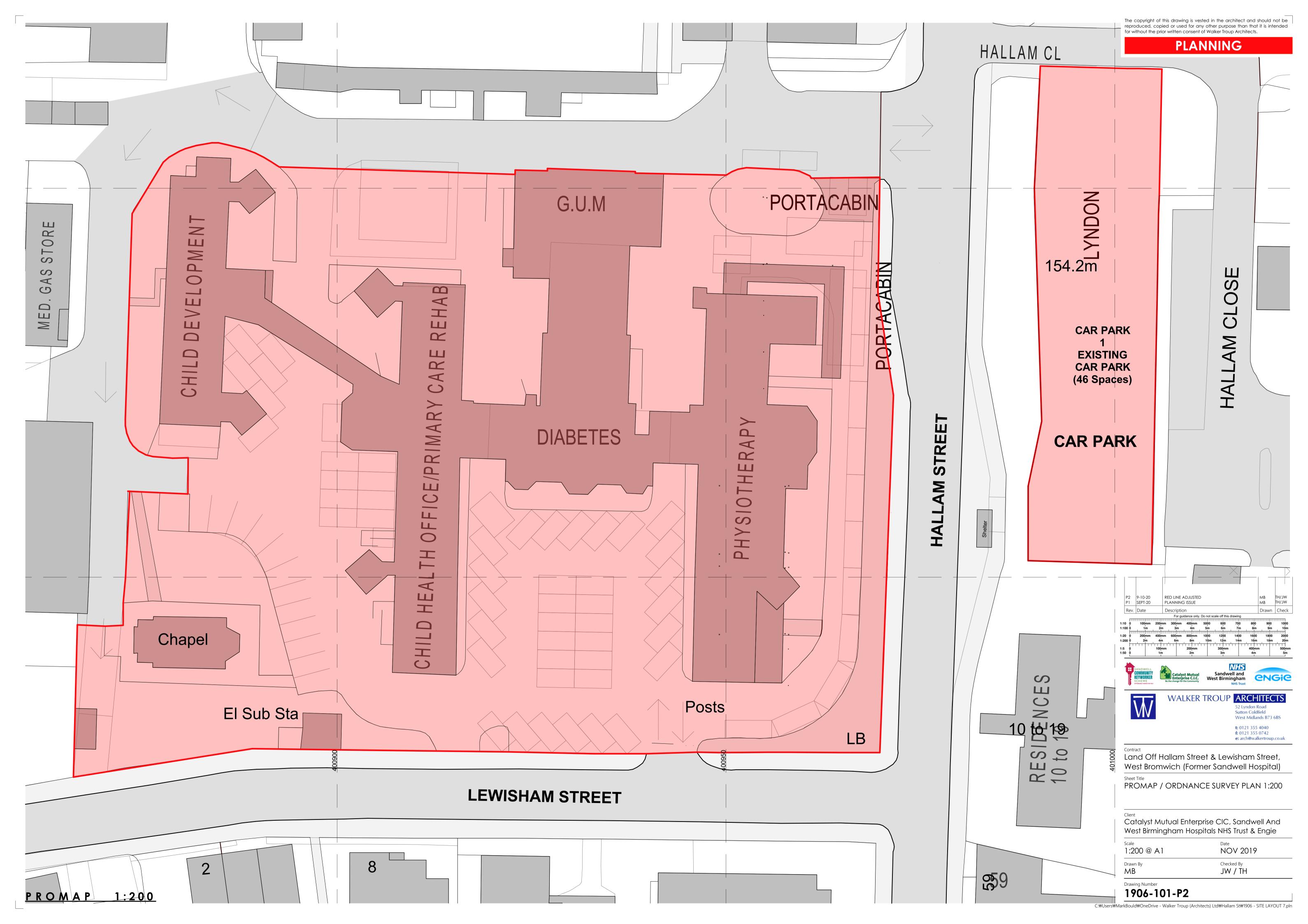


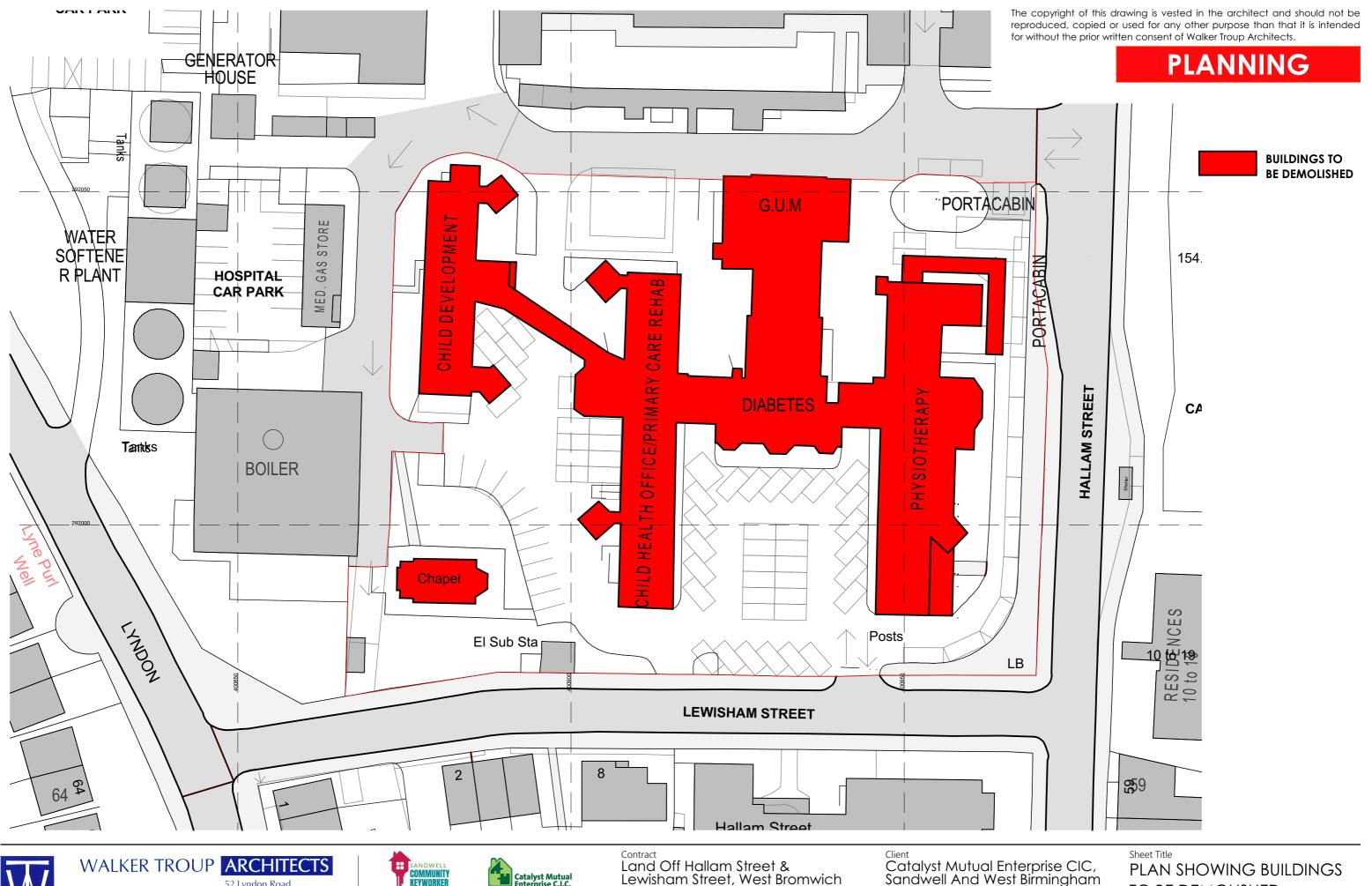


		Sca	le 1:1114	ļ.		
m	14	28	42	56	70	

© Crown copyright and database rights 2019 Ordnance Survey Licence No 100023119

Organisation	Not Set
Department	Not Set
Comments	Not Set
Date	28 April 2021
OS Licence No	







52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 **f:** 0121 355 0742 e: arch@walkertroup.co.uk



NHS

Sandwell and

West Birmingham





(Former Sandwell Hospital)

Date NOV 2019

Scale 1:500 @ A3

Hospitals NHS Trust & Engie Drawn By Checked By

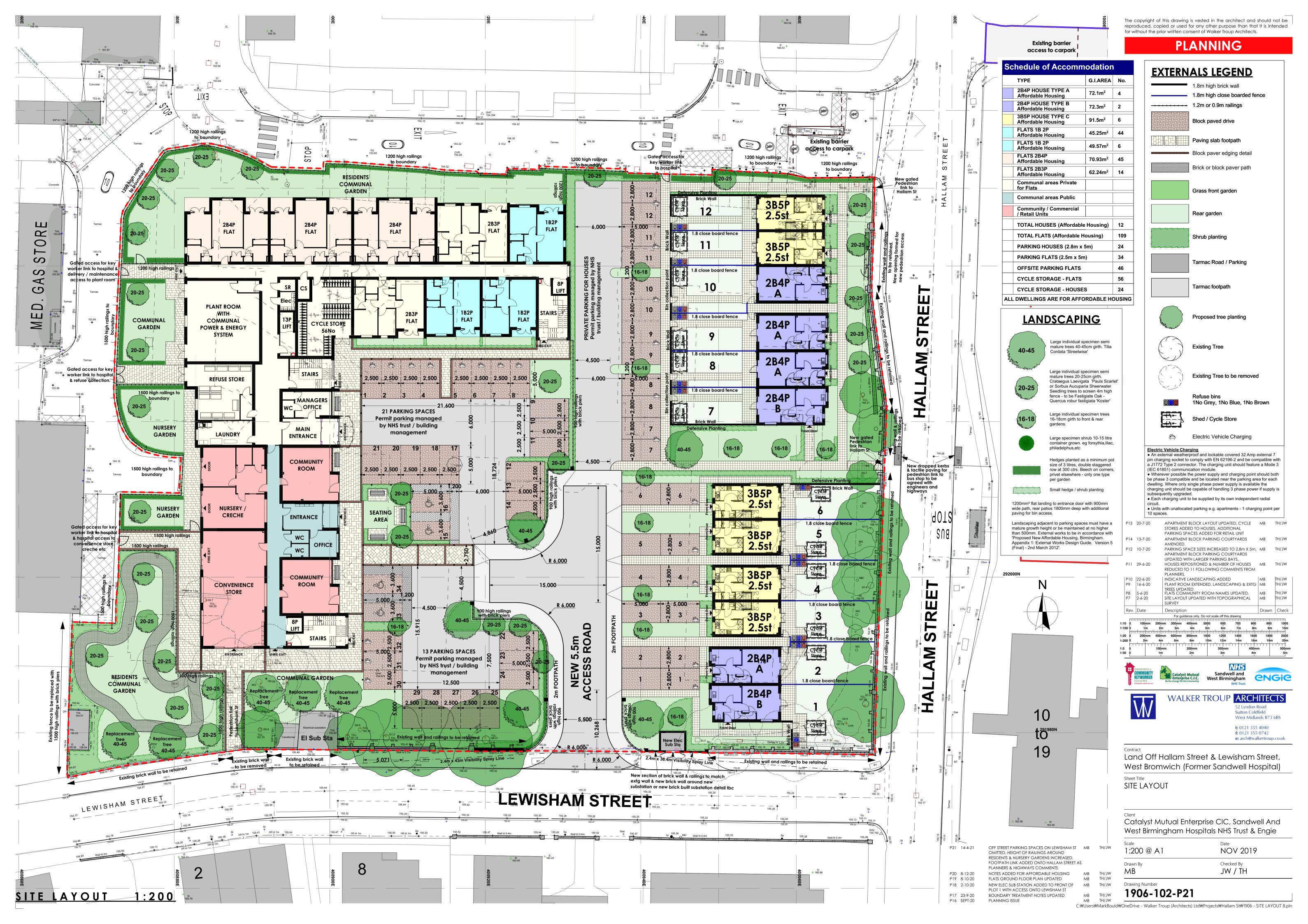
MB

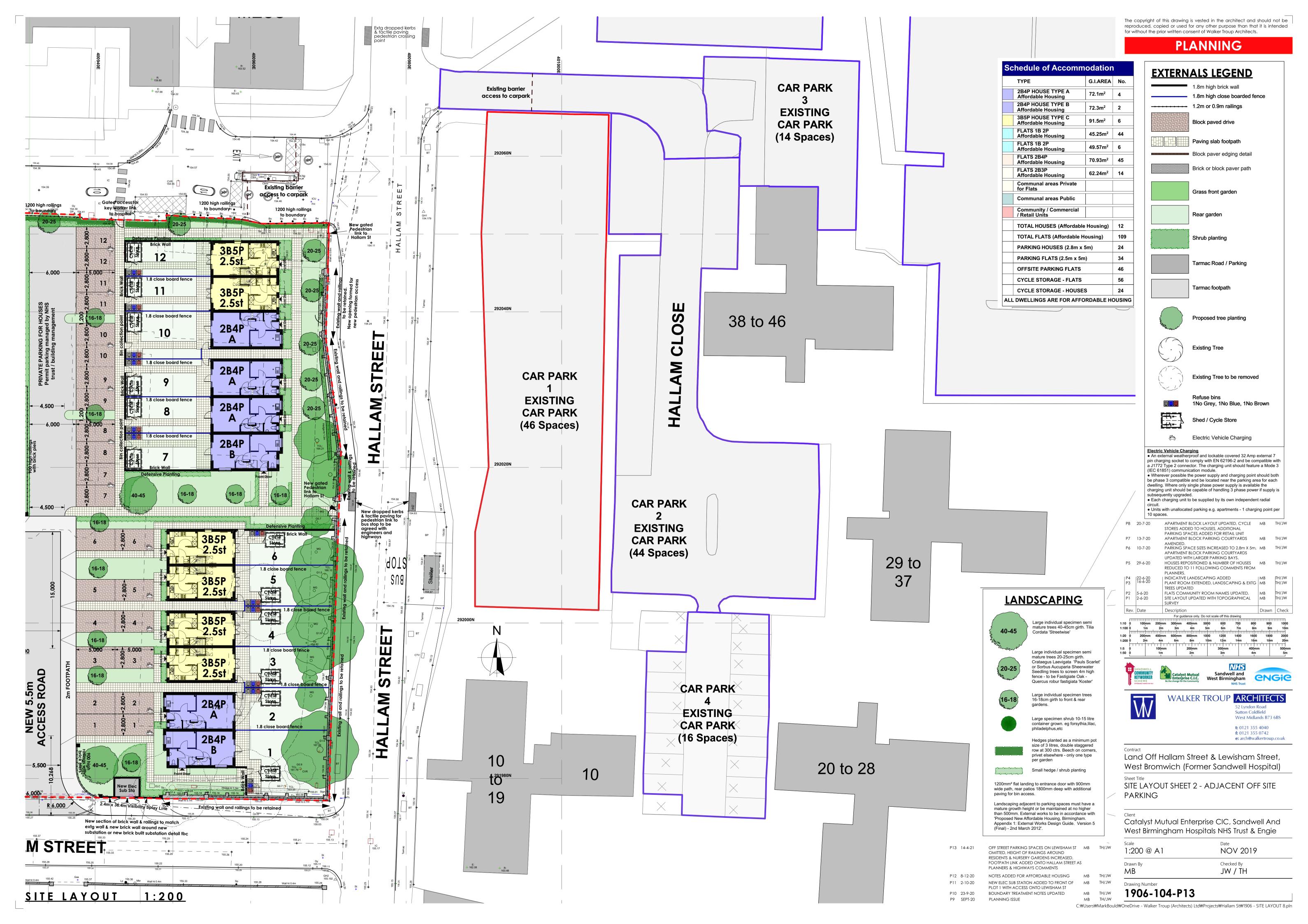
TO BE DEMOLISHED

Drawing Number

1906-116

JW / TH







FRONT ELEVATION 1:200



REAR ELEVATION 1:200



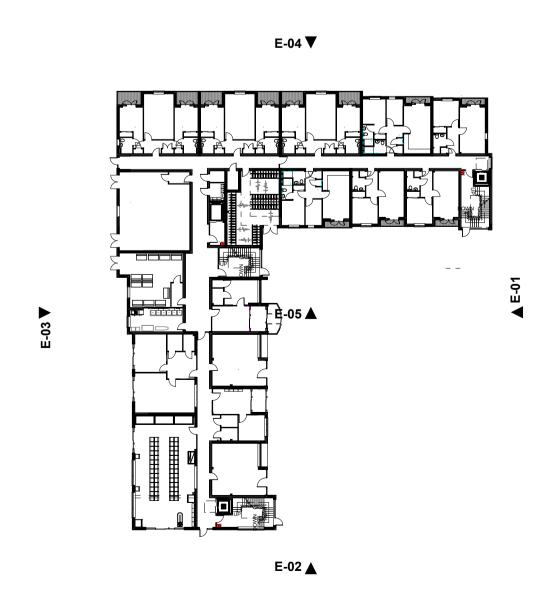
FRONT ELEVATION & SECTION THROUGH ENTRANCE 1:200



FRONT ELEVATION 1:200



REAR ELEVATION 1:200

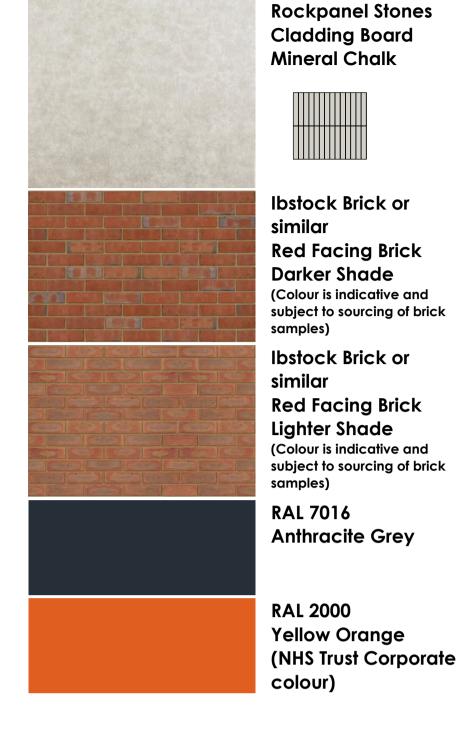


ELEVATION KEY PLAN 1:500

The copyright of this drawing is vested in the architect and should not be reproduced, copied or used for any other purpose than that it is intended for without the prior written consent of Walker Troup Architects.

PLANNING

<u>Materials Palette</u>



Proposed Structural Elements.

Structure to be reinforced concrete frame with brick and cladding boards fixed to Metsec lightweight steel frame.

Concrete floors and stairs.

Brickwork - lightweight brick slip cladding - Ibstock Fastwall or Mechslip fixed to a Metsec frame.

Cladding boards - Rockpanel or similar cladding board fixed to a Metsec frame.

Windows upvc with double glazed units unless the noise survey requires a higher specification.

Stairwell glazing and shop fronts curtain walling.

1:5 1:50	0	' ' ' '	100m	im' ' '	200mm 2m	'' '	300mm 3m	'' ''	400mr	n' '	500m 5m
1:200	Ó	2m	4m	6m	8m	10m	12m	14m	16m	18m	20m
1:20	TTT 0	200mm	400m		11 11	1000	1200	1400	1600	1800	2000
1:100	ĭ	1m	2m		4m	5m	6m	7m	8m	9m	10n
1:10	ПП 0	100mm	200m	пппппп	immmi			700	800	900	1000
	CV.	Date			uidance only	. Do not so	cale off this	drawing		Diawii	CHEC
P.	Δ\/	Date		Descript	ion					Drawn	Chec
P	4	29-4-20		CENTRAI LEVEL	_ STAIRCA:	SE EXTEN	ADED UP	TO ROC)F	MB	TH/JV
P\$		11-6-20		PROJECT	L MATERIA I DEVELOF	MENT				MB	TH/JV
		11 / 00		UPDATED			ATED AS		_	A A B	TI 1 / 1 / 1
, Pa	5	19-6-20			L DOORS	-	1 OT SWC	NURSERY	,	MB	TH/JV
ΡZ	7	14-7-20			_ STAIRCAS POSITIONE		N ENTRAN	ICE & 1	BED	MB	TH/JV
P8	3	4-8-20		ADDITIO	nal dims	/ HEIGH	ts adde	D		MB	TH/JV
P	7	SEPT-20		PLANNIN	IG ISSUE					MB	TH/JV
					& WC ADD BLASS ADD EVEL	,					
	10	7-10-20		,	AIN ENTRA					WR	TH/JV







t: 0121 355 4040 f: 0121 355 0742 e: arch@walkertroup.co.u

Land Off Hallam Street & Lewisham Street West Bromwich (Former Sandwell Hospital)

KEY WORKER FLATS ELEVATIONS 1:200

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

NOV 2019 1:200, 1:500 @ A1 JW / ŤH

Drawing Number 1906-131-P10

C:₩Users₩MarkBould₩OneDrive - Walker Troup (Architects) Ltd₩Hallam St₩1906 - KEY WORKER FLATS 3 (option 2).pln



Proposed Structural Elements.

Concrete floors and stairs.

fixed to a Metsec frame.

Structure to be reinforced concrete frame with brick and

cladding boards fixed to Metsec lightweight steel frame.

Brickwork - lightweight brick slip cladding - Ibstock

Cladding boards - Rockpanel or similar cladding board

Windows upvc with double glazed units unless the noise survey requires a higher specification.

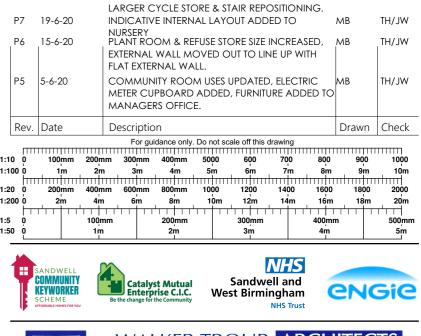
Fastwall or Mechslip fixed to a Metsec frame.

Stairwell glazing and shop fronts curtain walling.

COMMUNITY ROOM

FIRE EXIT

Stairwell







WALKER TROUP **ARCHITECTS** 52 Lyndon Road Sutton Coldfield West Midlands B73 6BS t: 0121 355 4040 **f:** 0121 355 0742

e: arch@walkertroup.co.uk

Land Off Hallam Street & Lewisham Street, West Bromwich (Former Sandwell Hospital)

KEY WORKER FLATS GROUND FLOOR PLAN

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

Scale 1:100, 1:1 @ A1	NOV 2019
Drawn By MB	Checked By JW / TH

CONVENIENCE STORE

ENTRANCE

EIRÉ EXIT



NOV 2019

1:100 @ A1



C:₩Users₩MarkBould₩OneDrive - Walker Troup (Architects) Ltd₩Hallam St₩1906 - KEY WORKER FLATS 3 (option 2).pln



1:100 @ A1	NOV 2019
Drawn By	Checked By JW / TH





Drawing Number



C:₩Users₩MarkBould₩OneDrive - Walker Troup (Architects) Ltd₩Hallam St₩1906 - KEY WORKER FLATS 3 (option 2).pln



1:100 @ A1

Drawing Number

Drawn By

MB

West Birmingham Hospitals NHS Trust & Engie

NOV 2019

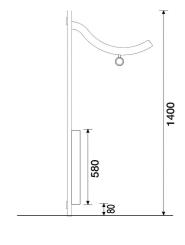
Checked By JW / TH

Broxap Thames Bridge Cycle Stand









En-suite

3.708 m²

Bedroc







Date Scale

NOV 2019

1:50 @ A3

CYCLE STORE 1:50

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

Checked By

JW / TH

Drawn By

MB

P1 SEPT-20

APARTMENTS CYCLE STORE

TH/JW

Drawing Number

1906-145-P1



WALKER TROUP **ARCHITECTS**

Service Riser A:3.118 m²

Elec Meters...

A:4.825 m²

| M | M | M | M |

13P Lift

A:3.978 m²

Lift Lobby

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

Dry Riser

Cleaner St A:3.707 m²

t: 0121 355 4040 **f:** 0121 355 0742 e: arch@walkertroup.co.uk

Sandwell and West Birmingham

engie

Cycle Store

Cycle Stand @ 350mm ctrs

Approx 56 Bikes with **Broxap Thames Bridge**

PLANNING ISSUE



Materials Palette



Rockpanel Stones Cladding Board Mineral Chalk



Ibstock Brick or similar **Red Facing Brick Darker Shade** (Colour is indicative and

subject to sourcing of brick samples)



Ibstock Brick or similar **Red Facing Brick Lighter Shade**

(Colour is indicative and subject to sourcing of brick samples)



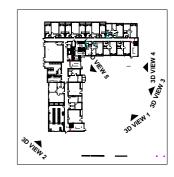
RAL 7016 Anthracite Grey



RAL 2000 Yellow Orange (NHS Trust Corporate colour)

TH/JW

TH/JW



P5	7-10-20	IMAGE UPDATED	MB	TH/JW
P4	23-9-20	IMAGE UPDATED	MB	TH/JW
P3	SEPT-20	PLANNING ISSUE	MB	TH/JW

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

P2 14-7-20

P1 11-6-20

Sheet Title

EXTERNAL MATERIALS UPDATED AS PART OF

CENTRAL STAIRCASE, MAIN ENTRANCE & 1 BED

WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 f: 0121 355 0742 e: arch@walkertroup.co.uk



NHS

Sandwell and

West Birmingham





Land Off Hallam Street & Lewisham Street, West Bromwich (Former Sandwell Hospital)

Date Scale

NOV 2019

NTS @ A3

Drawn By Checked By MB JW / TH 3D VIEW 1

Drawing Number

1906-139-P5

FLATS REPOSITIONED

PROJECT DEVELOPMENT





Rockpanel Stones Cladding Board Mineral Chalk



Ibstock Brick or similar **Red Facing Brick Darker Shade** (Colour is indicative and

subject to sourcing of brick samples)



Ibstock Brick or similar **Red Facing Brick Lighter Shade**

(Colour is indicative and subject to sourcing of brick samples)



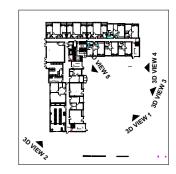
RAL 7016 Anthracite Grey



RAL 2000 Yellow Orange (NHS Trust Corporate colour)

TH/JW

TH/JW



Materials Palette





52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 f: 0121 355 0742 e: arch@walkertroup.co.uk



NHS

Sandwell and

West Birmingham







IMAGE UPDATED

IMAGE UPDATED

PLANNING ISSUE

Date Scale

NOV 2019

P5 7-10-20

P4 23-9-20

P3 SEPT-20

NTS @ A3

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

TH/JW

TH/JW

TH/JW

MB

MB

MB

Drawn By

MB

P2 14-7-20

P1 11-6-20

Checked By

JW / TH

Sheet Title 3D VIEW 2

EXTERNAL MATERIALS UPDATED AS PART OF

CENTRAL STAIRCASE, MAIN ENTRANCE & 1 BED

Drawing Number

1906-140-P5



FLATS REPOSITIONED

PROJECT DEVELOPMENT



Materials Palette



Rockpanel Stones Cladding Board Mineral Chalk



Ibstock Brick or similar Red Facing Brick Darker Shade (Colour is indicative and

(Colour is indicative and subject to sourcing of brick samples)



Ibstock Brick or similar Red Facing Brick Lighter Shade

(Colour is indicative and subject to sourcing of brick samples)



RAL 7016 Anthracite Grey



RAL 2000 Yellow Orange (NHS Trust Corporate colour)



 P4
 7-10-20
 IMAGE UPDATED
 MB
 TH/JW

 P3
 23-9-20
 IMAGE UPDATED
 MB
 TH/JW

 P2
 SEPT-20
 PLANNING ISSUE
 MB
 TH/JW

 P1
 14-7-20
 CENTRAL STAIRCASE, MAIN ENTRANCE & 1 BED
 MB
 TH/JW

 FLATS REPOSITIONED
 FLA



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 **f:** 0121 355 0742 **e:** arch@walkertroup.co.uk



NHS

Sandwell and

West Birmingham





Contract
Land Off Hallam Street &
Lewisham Street, West Bromwich
(Former Sandwell Hospital)

Date Scale

NOV 2019

NTS @ A3

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

Checked By

JW / TH

Drawn By

MB

Sheet Title 3D VIEW 3

Drawing Number

1906-142-P4



Materials Palette



Rockpanel Stones Cladding Board Mineral Chalk



Ibstock Brick or similar Red Facing Brick Darker Shade (Colour is indicative and

(Colour is indicative and subject to sourcing of brick samples)



Ibstock Brick or similar Red Facing Brick Lighter Shade

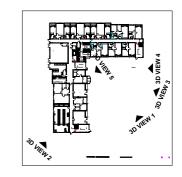
(Colour is indicative and subject to sourcing of brick samples)



RAL 7016 Anthracite Grey



RAL 2000 Yellow Orange (NHS Trust Corporate colour)



 P4
 7-10-20
 IMAGE UPDATED
 MB
 TH/JW

 P3
 23-9-20
 IMAGE UPDATED
 MB
 TH/JW

 P2
 SEPT-20
 PLANNING ISSUE
 MB
 TH/JW

 P1
 14-7-20
 CENTRAL STAIRCASE, MAIN ENTRANCE & 1 BED
 MB
 TH/JW

FLATS REPOSITIONED

Sheet Title 3D VIEW 4



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 f: 0121 355 0742 e: arch@walkertroup.co.uk



NHS

Sandwell and

West Birmingham







Date Scale

NOV 2019

NTS @ A3

Drawn By

MB

Checked By

JW / TH

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham

Hospitals NHS Trust & Engie

Drawing Number

1906-143-P4



Materials Palette



Rockpanel Stones Cladding Board Mineral Chalk



Ibstock Brick or similar **Red Facing Brick Darker Shade** (Colour is indicative and subject to sourcing of brick

samples)



Ibstock Brick or similar **Red Facing Brick Lighter Shade**

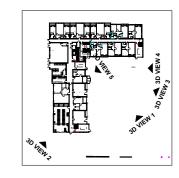
(Colour is indicative and subject to sourcing of brick samples)



RAL 7016 Anthracite Grey



RAL 2000 Yellow Orange (NHS Trust Corporate colour)



P4	7-10-20	IMAGE UPDATED	MB	TH/JW
P3	23-9-20	IMAGE UPDATED	MB	TH/JW
P2	SEPT-20	PLANNING ISSUE	MB	TH/JW
P1	14-7-20	CENTRAL STAIRCASE, MAIN ENTRANCE & 1 BED	MB	TH/JW
		FLATS REPOSITIONED		



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 f: 0121 355 0742 e: arch@walkertroup.co.uk



Sandwell and West Birmingham

NHS





Land Off Hallam Street & Lewisham Street, West Bromwich (Former Sandwell Hospital)

Scale

Date

NOV 2019

NTS @ A3

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

Checked By

JW / TH

Drawn By

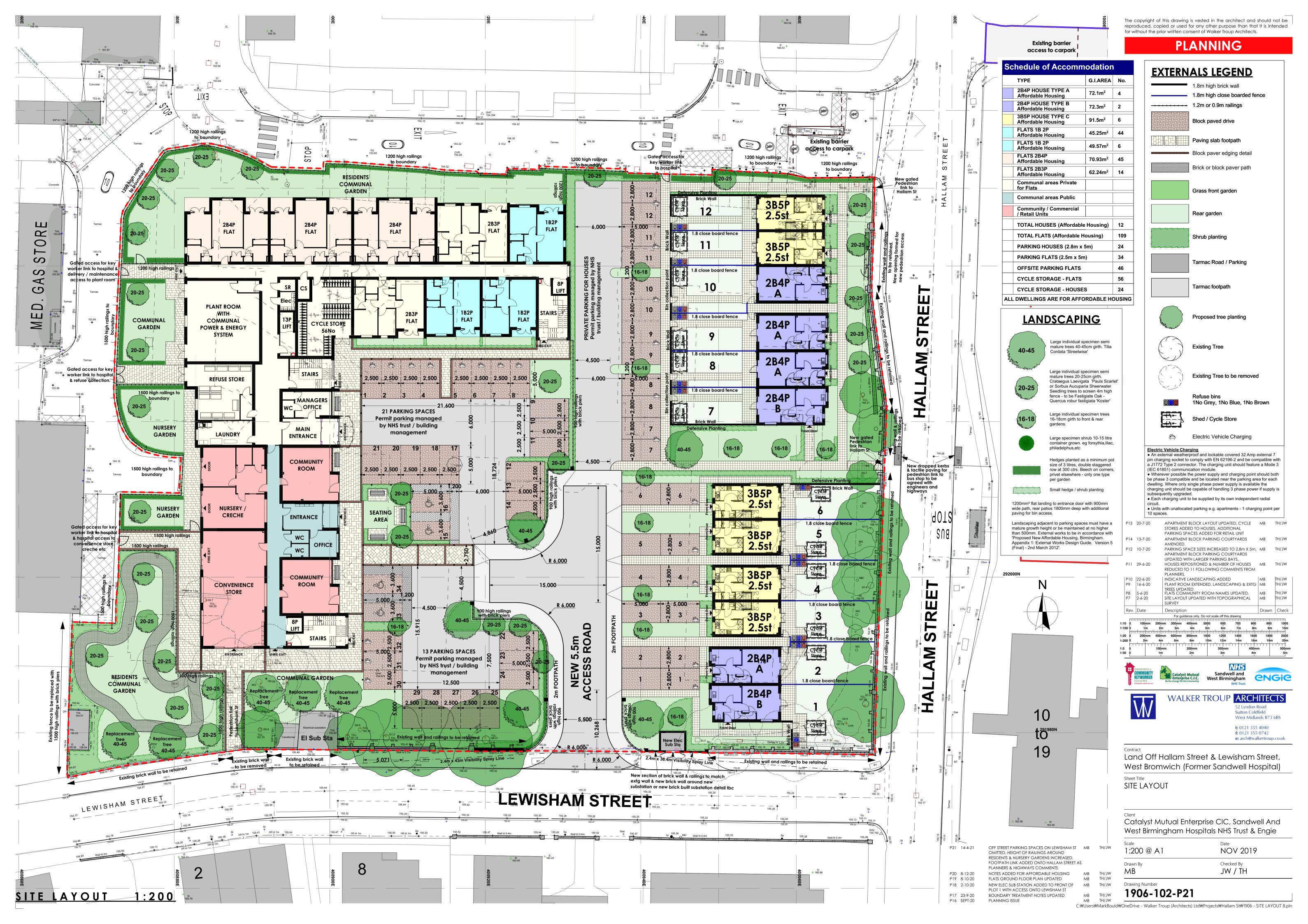
MB

Sheet Title

3D VIEW 5

Drawing Number

1906-144-P4





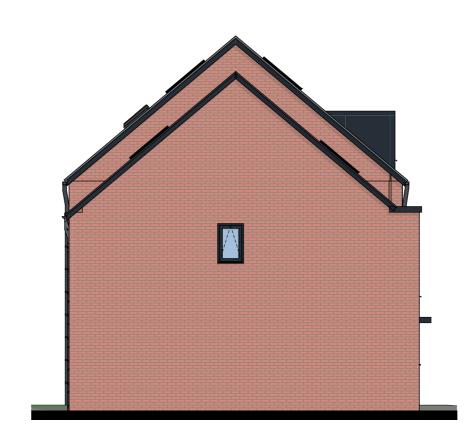
FRONT ELEVATION 1:100



REAR ELEVATION 1:100



SIDE ELEVATION 1:100



SIDE ELEVATION 1:100

P1 SEPT 2020 PLANNING ISSUE MB TH



WALKER TROUP **ARCHITECTS**

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 **f:** 0121 355 0742 e: arch@walkertroup.co.uk







Land Off Hallam Street & Lewisham Street, West Bromwich (Former Sandwell Hospital)

Date

NOV 2019

Scale

1:100 @ A3

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

Drawn By

MB

Checked By JW / TH 3B5P 2.5st HOUSE TYPE C & 2B4P TYPE A ELEVATIONS

Drawing Number

Sheet Title

1906-231-P1

The copyright of this drawing is vested in the architect and should not be

EXTERNAL MATERIALS

Anthracite / Dark Grey

Concrete Interlocking Roof Tiles -

Main facing brick - Red brick manufacturers details tbc

UPVC RAL 7016 Anthracite Grey

UPVC RAL 7016 Anthracite Grey

Rainwater Gutters and Downpipes

RAL 7016 Anthracite Grey

Roof

Facing Brick

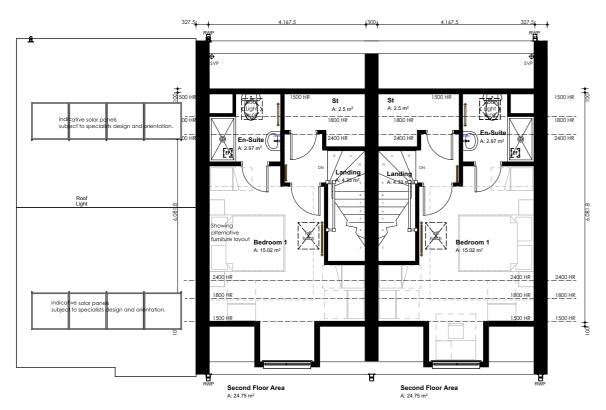
Windows

Soffit and Fascia

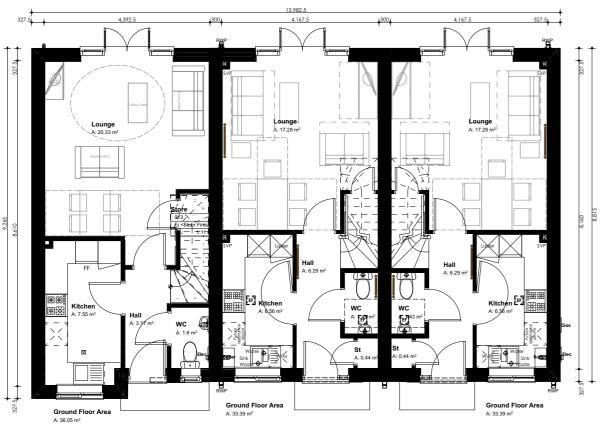
UPVC Black

Canopy

PLANNING



SECOND FLOOR PLAN 1:100



2B4P HOUSE TYPE A (CAT 1)

3B5P HOUSE TYPE C

3B5P HOUSE TYPE C G.I.A. 91.53m²

First Floor Area A: 36.04 m²

1:100 **GROUND FLOOR PLAN**

FIRST FLOOR PLAN 1:100

P1 SEPT 2020 PLANNING ISSUE MB TH



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 **f:** 0121 355 0742 e: arch@walkertroup.co.uk











Land Off Hallam Street & Lewisham Street, West Bromwich (Former Sandwell Hospital)

Date

NOV 2019

Scale

1:100 @ A3

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham

JW / TH

Drawn By

MB

Checked By

Hospitals NHS Trust & Engie

Sheet Title

3B5P 2.5st HOUSE TYPE C & 2B4P TYPE A FLOOR PLANS

Drawing Number

1906-230-P1



PLANNING

EXTERNAL MATERIALS

<u>Roof</u>

Concrete Interlocking Roof Tiles -Anthracite / Dark Grey

Facing Brick

Main facing brick - Red brick manufacturers details tbc

Windows

UPVC RAL 7016 Anthracite Grey

Soffit and Fascia

UPVC RAL 7016 Anthracite Grey

Rainwater Gutters and Downpipes UPVC Black

Canopy

RAL 7016 Anthracite Grey

P2 SEPT 2020 3D IMAGE UPDATED MB TH P1 SEPT 2020 PLANNING ISSUE MB TH



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 f: 0121 355 0742 e: arch@walkertroup.co.uk



Sandwell and West Birmingham







Date

NOV 2019

Scale

1:100 @ A3

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

Checked By

JW / TH

Drawn By

MB

Sheet Title

3B5P 2.5st HOUSE TYPE C AND 2B4P TYPE A 3D VIEW 1

Drawing Number

1906-232-P2



PLANNING

EXTERNAL MATERIALS

<u>Roof</u>

Concrete Interlocking Roof Tiles -Anthracite / Dark Grey

Facing Brick

Main facing brick - Red brick manufacturers details tbc

Windows

UPVC RAL 7016 Anthracite Grey

Soffit and Fascia

UPVC RAL 7016 Anthracite Grey

Rainwater Gutters and Downpipes UPVC Black

Canopy

RAL 7016 Anthracite Grey

P2 SEPT 2020 3D IMAGE UPDATED MB TH P1 SEPT 2020 PLANNING ISSUE MB TH



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 f: 0121 355 0742 e: arch@walkertroup.co.uk



Sandwell and West Birmingham







Date

NOV 2019

Scale

1:100 @ A3

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

Drawn By

MB

Checked By

JW / TH

Sheet Title

3B5P 2.5st HOUSE TYPE C AND 2B4P TYPE A 3D VIEW 2

Drawing Number

1906-233-P2

EXTERNAL MATERIALS

Anthracite / Dark Grey

Concrete Interlocking Roof Tiles -

Main facing brick - Red brick manufacturers details tbc

UPVC RAL 7016 Anthracite Grey

UPVC RAL 7016 Anthracite Grey

RAL 7016 Anthracite Grey

Rainwater Gutters and Downpipes

Roof

Facing Brick

Windows

Soffit and Fascia

UPVC Black

Canopy

PLANNING



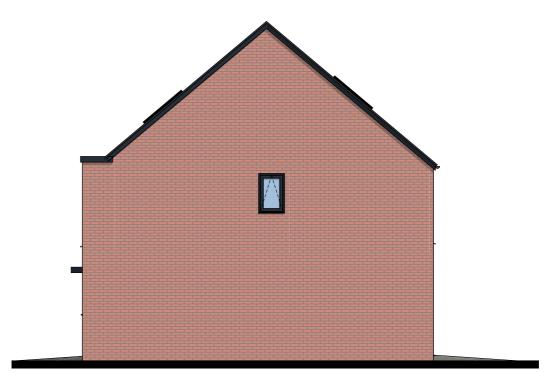
FRONT ELEVATION 1:100



1:100 REAR ELEVATION



1:100 SIDE / FRONT ELEVATION



SIDE ELEVATION 2 1:100

P1 SEPT 2020 PLANNING ISSUE MB TH

3 BLOCK 2B4P HOUSE TYPE A



WALKER TROUP **ARCHITECTS** 52 Lyndon Road

Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 **f:** 0121 355 0742 e: arch@walkertroup.co.uk







Land Off Hallam Street & Lewisham Street, West Bromwich (Former Sandwell Hospital)

Scale

Date

NOV 2019 1:100 @ A3

MB

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

Drawn By

Checked By JW / TH & B ELEVATIONS

Drawing Number

Sheet Title

1906-241-P1

X:\Projects\IOB LIST\Hallam Street. West Bromwich (1906)\Drawing Files\B - Planning\1906 - 2B4P HOUSE TYPE A A & B SIDE ENTANCE 2st (CAT1).pln



First Floor Area First Floor Area First Floor Area

GROUND FLOOR PLAN 1:100 FIRST FLOOR PLAN 1:100

MB

P1 SEPT 2020 PLANNING ISSUE MB TH



WALKER TROUP **ARCHITECTS**

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 **f:** 0121 355 0742 e: arch@walkertroup.co.uk







Land Off Hallam Street & Lewisham Street, West Bromwich (Former Sandwell Hospital)

Date

NOV 2019

Scale 1:100 @ A3 Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham

Hospitals NHS Trust & Engie Drawn By Checked By

Sheet Title

3 BLOCK 2B4P HOUSE TYPE A & B FLOOR PLANS (1:100 A3)

Drawing Number

JW / TH 1906-240-P1



PLANNING

EXTERNAL MATERIALS

<u>Roof</u>

Concrete Interlocking Roof Tiles -Anthracite / Dark Grey

Facing Brick

Main facing brick - Red brick manufacturers details tbc

Windows

UPVC RAL 7016 Anthracite Grey

Soffit and Fascia

UPVC RAL 7016 Anthracite Grey

Rainwater Gutters and Downpipes UPVC Black

Canopy

RAL 7016 Anthracite Grey

P2 SEPT 2020 3D IMAGE UPDATED MB TH P1 SEPT 2020 PLANNING ISSUE MB TH



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 f: 0121 355 0742 e: arch@walkertroup.co.uk



Sandwell and West Birmingham







Scale

Date

NOV 2019

1:100 @ A3

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

JW / TH

Drawn By Checked By

MB

Sheet Title

3 BLOCK 2B4P HOUSE TYPE A AND B 3D VIEW 1

Drawing Number

1906-242-P2

X:\Projects\OB LIST\Hallam Street. West Bromwich (1906)\Drawing Files\B - Planning\1906 - 2B4P HOUSE TYPE A A & B SIDE ENTANCE 2st (CAT1).pln



PLANNING

EXTERNAL MATERIALS

<u>Roof</u>

Concrete Interlocking Roof Tiles -Anthracite / Dark Grey

Facing Brick

Main facing brick - Red brick manufacturers details tbc

Windows

UPVC RAL 7016 Anthracite Grey

Soffit and Fascia

UPVC RAL 7016 Anthracite Grey

Rainwater Gutters and Downpipes **UPVC** Black

Canopy

RAL 7016 Anthracite Grey

P2 SEPT 2020 3D IMAGE UPDATED MB TH P1 SEPT 2020 PLANNING ISSUE MB TH



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 f: 0121 355 0742 e: arch@walkertroup.co.uk



Sandwell and West Birmingham







Scale

Date

NOV 2019

1:100 @ A3

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

Drawn By

MB

Checked By

JW / TH

Sheet Title

3 BLOCK 2B4P HOUSE TYPE A AND B 3D VIEW 2

Drawing Number

1906-243-P2

X:\Projects\OB LIST\Hallam Street. West Bromwich (1906)\Drawing Files\B - Planning\1906 - 2B4P HOUSE TYPE A A & B SIDE ENTANCE 2st (CAT1).pln



PLANNING

EXTERNAL MATERIALS

<u>Roof</u>

Concrete Interlocking Roof Tiles -Anthracite / Dark Grey

Facing Brick

Main facing brick - Red brick manufacturers details tbc

Windows

UPVC RAL 7016 Anthracite Grey

Soffit and Fascia

UPVC RAL 7016 Anthracite Grey

Rainwater Gutters and Downpipes UPVC Black

Canopy

RAL 7016 Anthracite Grey

P2 SEPT 2020 3D IMAGE UPDATED MB TH P1 SEPT 2020 PLANNING ISSUE MB TH



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 f: 0121 355 0742 e: arch@walkertroup.co.uk







Contract Land Off Hallam Street & Lewisham Street, West Bromwich (Former Sandwell Hospital)

Date Scale

NOV 2019 1:100 @ A3

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

JW / TH

Drawn By Checked By

MB

Sheet Title

3 BLOCK 2B4P HOUSE TYPE A AND B 3D VIEW 3

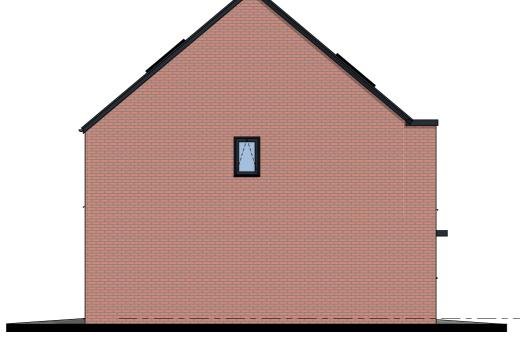
Drawing Number

1906-244-P2

 $X: \forall \forall Proiects \forall \forall Proiects \exists Promover (1906) \forall Promover (1906)$



FRONT ELEVATION 1:100



SIDE / FRONT ELEVATION 1:100



REAR ELEVATION 1:100











Date NOV 2019

SIDE ELEVATION 2

1:100

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham

Hospitals NHS Trust & Engie

Drawn By

MB

Checked By

JW / TH

P1 SEPT 2020 PLANNING ISSUE MB TH Sheet Title 2B4P HOUSE TYPE A & B

Drawing Number

ELEVATIONS

1906-211-P1

The copyright of this drawing is vested in the architect and should not be reproduced, copied or used for any other purpose than that it is intended

EXTERNAL MATERIALS

Anthracite / Dark Grey

Concrete Interlocking Roof Tiles -

Main facing brick - Red brick manufacturers details tbc

UPVC RAL 7016 Anthracite Grey

UPVC RAL 7016 Anthracite Grey

Rainwater Gutters and Downpipes

RAL 7016 Anthracite Grey

PLANNING

for without the prior written consent of Walker Troup Architects.

Roof

Facing Brick

Windows

Soffit and Fascia

UPVC Black

Canopy

WALKER TROUP **ARCHITECTS** 52 Lyndon Road

> **t:** 0121 355 4040 **f:** 0121 355 0742 e: arch@walkertroup.co.uk

Sutton Coldfield West Midlands B73 6BS SANDWELL COMMUNITY KEYWORKER SCHEME SCHEME



First Floor Area First Floor Area

2B4P HOUSE TYPE A (CAT 1) G.I.A. 72.1m²

2B4P HOUSE TYPE B (CAT 1) G.I.A. 72.3m²

GROUND FLOOR PLAN 1:100 FIRST FLOOR PLAN 1:100

P1 SEPT 2020 PLANNING ISSUE MB TH



WALKER TROUP **ARCHITECTS**

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 **f:** 0121 355 0742 e: arch@walkertroup.co.uk









Scale

Date

NOV 2019

1:100 @ A3

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

Drawn By

MB

JW / TH

Sheet Title 2B4P HOUSE TYPE A & B FLOOR PLANS (1:100 A3)

Drawing Number Checked By

1906-210-P1



PLANNING

EXTERNAL MATERIALS

<u>Roof</u>

Concrete Interlocking Roof Tiles -Anthracite / Dark Grey

Facing Brick

Main facing brick - Red brick manufacturers details tbc

Windows

UPVC RAL 7016 Anthracite Grey

Soffit and Fascia

UPVC RAL 7016 Anthracite Grey

Rainwater Gutters and Downpipes

UPVC Black

Canopy

RAL 7016 Anthracite Grey

P2 SEPT 2020 3D IMAGE UPDATED MB TH P1 SEPT 2020 PLANNING ISSUE MB TH



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 f: 0121 355 0742 e: arch@walkertroup.co.uk



Sandwell and West Birmingham





Land Off Hallam Street & Lewisham Street, West Bromwich (Former Sandwell Hospital)

Date Scale

NOV 2019 1:100 @ A3 Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

Checked By

JW / TH

Drawn By

MB

Sheet Title 2B4P HOUSE TYPE A AND B 3D VIEW

Drawing Number

1906-212-P2



PLANNING

EXTERNAL MATERIALS

<u>Roof</u>

Concrete Interlocking Roof Tiles -Anthracite / Dark Grey

Facing Brick

Main facing brick - Red brick manufacturers details tbc

Windows

UPVC RAL 7016 Anthracite Grey

Soffit and Fascia

UPVC RAL 7016 Anthracite Grey

Rainwater Gutters and Downpipes UPVC Black

Canopy

RAL 7016 Anthracite Grey

P2 SEPT 2020 3D IMAGE UPDATED MB TH P1 SEPT 2020 PLANNING ISSUE MB TH



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 f: 0121 355 0742 e: arch@walkertroup.co.uk









Scale

Date

NOV 2019

1:100 @ A3

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

JW / TH

Checked By

Drawn By

MB

Sheet Title
2B4P HOUSE TYPE A AND B
3D VIEW 2

Drawing Number

1906-213-P2



PLANNING

EXTERNAL MATERIALS

<u>Roof</u>

Concrete Interlocking Roof Tiles -Anthracite / Dark Grey

Facing Brick

Main facing brick - Red brick manufacturers details tbc

Windows

UPVC RAL 7016 Anthracite Grey

Soffit and Fascia

UPVC RAL 7016 Anthracite Grey

Rainwater Gutters and Downpipes **UPVC** Black

Canopy

RAL 7016 Anthracite Grey

P2 SEPT 2020 3D IMAGE UPDATED MB TH P1 SEPT 2020 PLANNING ISSUE MB TH



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 f: 0121 355 0742 e: arch@walkertroup.co.uk









Date Scale

1:100 @ A3

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie

Drawn By

MB

Checked By

JW / TH

Sheet Title 2B4P HOUSE TYPE A AND B 3D VIEW 3

Drawing Number

1906-214-P2



Materials Palette



Rockpanel Stones Cladding Board Mineral Chalk



Ibstock Brick or similar Red Facing Brick Darker Shade (Colour is indicative and subject to sourcing of brick

samples)



Ibstock Brick or similar Red Facing Brick Lighter Shade

(Colour is indicative and subject to sourcing of brick samples)



RAL 7016 Anthracite Grey



RAL 2000 Yellow Orange (NHS Trust Corporate colour)



Ibstock Brick or similar Staffordshire Blue Facing Brick

(Colour is indicative and subject to sourcing of brick samples)



Slate Grey Roof Tiles (Colour is indicative and subject to sourcing of samples)

P1 7-10-20

JW / TH

IMAGE UPDATED

MB

TH/JW

W

WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 **f:** 0121 355 0742 **e:** arch@walkertroup.co.uk



Sandwell and

West Birmingham





Land Off Hallam Street & Lewisham Street, West Bromwich (Former Sandwell Hospital)

Date

NOV 2019

@ A3

Scale

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie Sheet Title

SITE 3D VIEW 7

Drawn By Checked By

MB

Drawing Number

1906-111-P1



Materials Palette



Rockpanel Stones Cladding Board Mineral Chalk



Ibstock Brick or similar Red Facing Brick Darker Shade (Colour is indicative and subject to sourcing of brick

samples)



Ibstock Brick or similar Red Facing Brick Lighter Shade

(Colour is indicative and subject to sourcing of brick samples)



RAL 7016 Anthracite Grey



RAL 2000 Yellow Orange (NHS Trust Corporate colour)



Ibstock Brick or similar Staffordshire Blue Facing Brick

(Colour is indicative and subject to sourcing of brick samples)



Slate Grey Roof Tiles (Colour is indicative and subject to sourcing of

samples)

P1 7-10-20

IMAGE UPDATED

MB

TH/JW



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 **f:** 0121 355 0742 **e:** arch@walkertroup.co.uk



Sandwell and

West Birmingham





Contract
Land Off Hallam Street &
Lewisham Street, West Bromwich
(Former Sandwell Hospital)

Date

NOV 2019

@ A3

Scale

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie Sheet Title

SITE 3D VIEW 8

Drawn By

MB

Checked By

JW / TH

Drawing Number

1906-112-P1



Materials Palette



Rockpanel Stones Cladding Board Mineral Chalk



Ibstock Brick or similar Red Facing Brick Darker Shade (Colour is indicative and subject to sourcing of brick

samples)



Ibstock Brick or similar Red Facing Brick Lighter Shade

(Colour is indicative and subject to sourcing of brick samples)



RAL 7016 Anthracite Grey



RAL 2000 Yellow Orange (NHS Trust Corporate colour)



Ibstock Brick or similar Staffordshire Blue Facing Brick

(Colour is indicative and subject to sourcing of brick samples)



Slate Grey Roof Tiles
(Colour is indicative and subject to sourcing of samples)

P1 7-10-20

IMAGE UPDATED

MB

TH/JW



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 **f:** 0121 355 0742 **e:** arch@walkertroup.co.uk



Sandwell and

West Birmingham







Date

NOV 2019

@ A3

Scale

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie Sheet Title

SITE 3D VIEW 9

Drawn By

MB

JW / TH

Checked By

Drawing Number

1906-113-P1



Materials Palette



Rockpanel Stones Cladding Board Mineral Chalk



Ibstock Brick or similar Red Facing Brick Darker Shade (Colour is indicative and subject to sourcing of brick

samples)



Ibstock Brick or similar Red Facing Brick Lighter Shade

(Colour is indicative and subject to sourcing of brick samples)



RAL 7016 Anthracite Grey



RAL 2000 Yellow Orange (NHS Trust Corporate colour)



Ibstock Brick or similar Staffordshire Blue Facing Brick

(Colour is indicative and subject to sourcing of brick samples)



Slate Grey Roof Tiles
(Colour is indicative and subject to sourcing of samples)

P1 7-10-20

IMAGE UPDATED

MB

TH/JW



WALKER TROUP ARCHITECTS

52 Lyndon Road Sutton Coldfield West Midlands B73 6BS

t: 0121 355 4040 f: 0121 355 0742 e: arch@walkertroup.co.uk



Sandwell and

West Birmingham





Contract
Land Off Hallam Street &
Lewisham Street, West Bromwich
(Former Sandwell Hospital)

NOV 2019

Date

@ A3

Scale

Catalyst Mutual Enterprise CIC, Sandwell And West Birmingham Hospitals NHS Trust & Engie Sheet Title

SITE 3D VIEW 10

Drawn By

MB

Checked By

JW / TH

Drawing Number

1906-114-P1